



**BOARD OF COUNTY COMMISSIONERS  
WARREN COUNTY, OHIO**

**406 Justice Drive, Lebanon, Ohio 45036**

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**TOM GROSSMANN  
SHANNON JONES  
DAVID G. YOUNG**

**BOARD OF COUNTY COMMISSIONERS  
WARREN COUNTY, OHIO**

**MINUTES: Regular Session – August 8, 2023**

*This is a summary of actions and discussions of the meeting. You may view this meeting through our YouTube Channel at <https://www.youtube.com/channel/UC1ELh0jGpXd4VV2DTgsuqPA> or by contacting our office.*

The Board met in regular session pursuant to adjournment of the August 1, 2023, meeting.

Shannon Jones – present

Tom Grossmann – present

David G. Young – present

Tina Osborne, Clerk – present

Minutes of the August 1, 2023 meeting were read and approved.

- 23-0996      A resolution was adopted to hire Jordan Snyder as Infrastructure Systems Supervisor, within the Warren County Telecommunications Department. Vote: Unanimous
- 23-0997      A resolution was adopted to authorize the posting of the “Administrative Clerk” position, within the Warren County Department of Job and Family Services, Children Services Division, in accordance with Warren County Personnel Policy Manual, Section 2.02(A). Vote: Unanimous
- 23-0998      A resolution was adopted to approve promotion of Kaylie French to the position of Case Aide within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 23-0999      A resolution was adopted to hire Alec Smith as Eligibility Specialist II, within the Warren County Department of Job and Family Services, Human Services Division. Vote: Unanimous

MINUTES  
AUGUST 8, 2023  
PAGE 2

- 23-1000 A resolution was adopted to set public hearing for rezoning application of Greg Thurman (Redwood USA), agent to rezone approximately 63.812 acres from “MXU-C” Mixed Use Center with Interstate Highway Overlay to “MXU-C” Mixed Use Center with Planned Unit Development Overlay in Union Township. Vote: Unanimous
- 23-1001 A resolution was adopted to cancel regularly scheduled Commissioners’ Meeting of Thursday, August 10, 2023. Vote: Unanimous
- 23-1002 A resolution was adopted to enter into a contract with Ohio Department of Health for the tuberculosis funding on behalf of the Warren County Combined Health District. Vote: Unanimous
- 23-1003 A resolution was adopted to authorize President of the Board to sign permit application from the Ohio Department of Commerce, Division of Liquor Control for an event at the Warren County Fairgrounds. Vote: Unanimous
- 23-1004 A resolution was adopted to approve notice of intent to award bid to J.K. Meurer Cop. For the FY23 Union Township, Warren County – Highland Park Repaving Phase 2 CDBG Project. Vote: Unanimous
- 23-1005 A resolution was adopted to approve notice of intent to award bid to J & J Environmental, Inc. (DBA Tele-Vac) for the As Needed Sanitary Point Liner Repairs Project Re-Bid. Vote: Unanimous
- 23-1006 A resolution was adopted to enter into an H2Ohio Direct Assistance PWS standard grant agreement with the Ohio Environmental Protection Agency for the reimbursement of eligible project/ program costs. Vote: Unanimous
- 23-1007 A resolution was adopted to advertise legal notice of Disadvantaged Business Enterprise goal for federal fiscal year 2023 and 2024 for Warren County Transit. Vote: Unanimous
- 23-1008 A resolution was adopted to approve and authorize the President of the Board of County Commissioners to accept and sign the updated Warren County Transit Services Safety Plan. Vote: Unanimous
- 23-1009 A resolution was adopted to declare various items within Facilities Management, Juvenile Court, Sheriff’s Office, and Telecom as surplus and authorize the disposal of said items through internet auction. Vote: Unanimous
- 23-1010 A resolution was adopted to acknowledge receipt of July 2023 financial statement. Vote: Unanimous
- 23-1011 A resolution was adopted to acknowledge payment of bills. Vote: Unanimous

- 23-1012 A resolution was adopted to approve a subdivision public improvement performance and maintenance security release with D.R. Horton – Indiana, LLC for Village of Hopewell Valley, Section 8 situated in Hamilton Township.  
Vote: Unanimous
- 23-1013 A resolution was adopted to approve a subdivision public improvement performance and maintenance security release with D.R. Horton – Indiana, LLC for Village of Hopewell Valley, Section 7 situated in Hamilton Township.  
Vote: Unanimous
- 23-1014 A resolution was adopted to approve a street and appurtenances bond release for Timberwind, LLC, for completion of improvements in Tara Estates, No. 3, Phase One situated in Franklin Township. Vote: Unanimous
- 23-1015 A resolution was adopted to approve a sidewalk bond release for Timberwind, LLC, for completion of improvements in Tara Estates, No. 3, Phase One situated in Franklin Township. Vote: Unanimous
- 23-1016 A resolution was adopted to approve Timberwind Trail, Timber Wolf Drive, and Timber Valley Drive in Tara Estates No. 3, Phase One for public maintenance by Franklin Township. Vote: Unanimous
- 23-1017 A resolution was adopted to approve a street and appurtenances bond release for Timberwind, LLC, for completion of improvements in Tara Estates, No. 4, Phase One situated in Franklin Township. Vote: Unanimous
- 23-1018 A resolution was adopted to approve a sidewalk bond release for Timberwind, LLC, for completion of improvements in Tara Estates, No. 4, Phase One situated in Franklin Township. Vote: Unanimous
- 23-1019 A resolution was adopted to approve Timber Wolf Drive and Timberwild Way in Tara Estates No. 4, Phase One for public maintenance by Franklin Township.  
Vote: Unanimous
- 23-1020 A resolution was adopted to approve a street and appurtenances (including sidewalks) bond release for Timberwind, LLC, for completion of improvements in Tara Estates, No. 4, Phase Two situated in Franklin Township.  
Vote: Unanimous
- 23-1021 A resolution was adopted to approve Timber Wolf Drive and Timberview Court in Tara Estates No. 4, Phase 2 for public maintenance by Franklin Township.  
Vote: Unanimous
- 23-1022 A resolution was adopted to approve a street and appurtenances (including sidewalks) bond release for Timberwind, LLC, for completion of improvements in Tara Estates, No. 3, Phase Two situated in Franklin Township.  
Vote: Unanimous

- 23-1023 A resolution was adopted to approve Timber Wolf Drive and Timber Valley Drive in Tara Estates No. 3, Phase 2 for public maintenance by Franklin Township. Vote: Unanimous
- 23-1024 A resolution was adopted to approve various record plats. Vote: Unanimous
- 23-1025 A resolution was adopted to accept an amended certificate and approve a supplemental appropriation for Grants Administration Fund #2265. Vote: Unanimous
- 23-1026 A resolution was adopted to approve supplemental appropriation into Commissioners' general Fund #11011110. Vote: Unanimous
- 23-1027 A resolution was adopted to approve appropriation adjustment from Commissioners' General Fund #11011110 into Juvenile Court Fund #11011240. Vote: Unanimous
- 23-1028 A resolution was adopted to approve appropriation adjustment from Commissioners' General Fund #11011110 into Juvenile Detention Center Fund #11012600. Vote: Unanimous
- 23-1029 A resolution was adopted to approve requisitions and authorize County Administrator to sign documents relative thereto. Vote: Unanimous
- 23-1030 A resolution was adopted to appoint an evaluation committee relative to the Request for Qualifications associated with design- build services for the Warren County Court Project. Vote: Unanimous
- 23-1031 A resolution was adopted to authorize President of the Board to enter into temporary license revocable license agreement with City Gate Church relative to temporary use of Warren County property. Vote: Unanimous
- 23-1032 A resolution was adopted to approve and authorize County Administrator to execute Sublease Amendment No. 2 with American Towers relative to the Telecommunications tower at the Warren County Fairgrounds. Vote: Unanimous
- 23-1033 A resolution was adopted to continue administrative hearing to consider site plan review application of Shaker Woods in Turtlecreek Township. Vote: Grossmann – absent, Jones – yea, Young - yea

#### DISCUSSIONS

On motion, upon unanimous call of the roll, the Board accepted and approved the consent agenda.

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ADMINISTRATIVE HEARING

SITE PLAN REVIEW APPLICATION OF SHAKER WOODS  
IN TURTLECREEK TOWNSHIP

The Board met this 8<sup>th</sup> day of August 2023, in the Commissioners Meeting Room to consider the site plan review application of Shaker Woods in Turtlecreek Township.

Commissioner Jones requested the Clerk to state how and when notification for this hearing was provided.

Tina Osborne, Clerk of Commissioners, stated that the sign was posted on the property on July 21, 2023, and written notices were sent to the property owner and to the adjacent property owners within 500 feet on July 20, 2023. She then stated that the legal notice for the hearing was advertised in Journal News of Lebanon and Mason on July 16, 2023.

Commissioner Jones administered the oath to those desiring to give testimony in today's hearing.

Michelle Tegtmeier, Director of Building and Zoning Department, presented the attached PowerPoint reviewing the property size, location, zoning and proposed development plan. She stated that the applicant desires to develop 73 single family units, requesting a waiver for the side yard setback, constructed in compliance with the MXU-C Standards and the Warren County Rural Zoning Code.

Mrs. Tegtmeier reviewed the site plan proposing patio home lots at 50' wide and single family lots at 65' wide, showing on the map this proposed subdivision connects to the existing Shaker Run subdivision through Broadmoor Lane.

Mrs. Tegtmeier then presented the staff summary and reviewed the site plan criteria as stated in the Warren County Rural Zoning Code.

Hadil Lababidi, Warren County Regional Planning Commission, reviewed the comments from departments and officials including the letter from the Turtlecreek Township Trustees stating their desire for an additional access onto Greentree Road. She stated that the schools are requesting a loop turnaround for school buses and that sanitary sewer services are available from Butler County. She then stated the recommendation to approve the site plan review application subject to seven (7) conditions.

Commissioner Young questioned the development of a mixed-use center zoned area as it relates to commercial and residential.

Mrs. Tegtmeier stated that because of the type of road that Greentree is classified as, they can develop mixed housing in the MXU-C zone.

Commissioner Grossmann questioned the Turtlecreek Township letter and there was discussion relative to an access along Greentree Road.

Matt Maines, Drees Co., affirmed he was sworn and stated that this parcel is a portion of the overall land owned by Pap Oil. He stated that the patio homes are being developed to meet market demand and is a "transition development" from the Shaker Run subdivision to remainder of the MXU-C zoned property owned by Pap Oil. He then stated his agreement to the seven (7) recommended condition as recommended by the Regional Planning Commission.

Commissioner Jones questioned if the developer has an option to purchase the remaining parcel from Pap Oil.

Mr. Maines stated that they do not and he cannot speak to the intent of the remainder of the property.

Commissioner Jones questioned that, in absence of how the remainder of the property is to be developed, how do we know what this development is being "transitioned" into.

Anette Bickett, 1176 Golf Club Drive Lebanon, spoke in favor of the development and questioned where the township trustees believe would be a safe access point along Greentree Road given the speed and design of the roadway.

Joe Jacob, 5124 Greenview Lane Lebanon, stated his opinion that Drees does a good development and suggested they consider eliminating one lot and accessing an additional connection to an existing roadway. He then stated this development will be complementary to the existing condos within Shaker Run.

Christine Pudvan, 1250 Ironwood Drive Lebanon, read a statement (attached) relative to concerns and desires for the proposed subdivision.

Jonathan Sams, Turtlecreek Township Trustee, stated the objection of the township to the proposal due to the only access point for the subdivision being within the existing Shaker Run subdivision which already has limited access points. He stated the concern for the amount of time to reach the development in the event of an emergency as well as the concern of the 5' setback as in the event of a fire, the homes would only be 10' apart with extended response times due to the location of the development. He stated that this development was not taken into consideration when the roadways were developed for Shaker Run as it was not a part of the original planned unit development.

There was discussion relative to access points and the need for a waiver from the Regional Planning Commission to develop as proposed. There was also discussion relative to sanitary sewer services not being available to the entire parcel.

Commissioner Jones confirmed that the township trustees require additional access on Greentree Road in order to recommend approval for development.

Mr. Maines stated he cannot promise additional access on Greentree Road as he does not control that property. He then stated his willingness to complete a traffic impact study.

There was discussion relative to whether this land has been subdivided yet as the Warren County Auditor still has it as one parcel of land.

Mark Linger, Drees Co., stated that the land has been surveyed but not recorded.

Commissioner Young stated his concern relative to public safety. He stated his feeling that this development may be premature as it is relative to how the remaining property develops.

Commissioner Jones stated she is not willing to make a decision relative to the site plan review application today without legal counsel present.

Mark Ferriell, 1332 Golf Club Drive Lebanon, stated his concern relative to damage to the existing subdivision roads from construction, increase in traffic and feels the proposed development is too dense for the area.

Phil Garver, 1367 Barton Lane Lebanon, stated his respect for private property rights but stated his concern relative to public safety. He stated the need for a master plan for development of the entire parcel as well as infrastructure issues for emergency vehicle access. He requested the Board to deny the site plan review application.

Bruce Ihle, 5596 Greentree Road Lebanon, stated concerns relative to traffic and speed on Greentree Road stating he cannot safely retrieve his mail from the mailbox. He then cited sanitary sewer issues in connecting to the Butler County sewer system as it is too expensive. He then cited noise concerns in the area and requested the Board to require a master development plan for the entire parcel prior to any approvals.

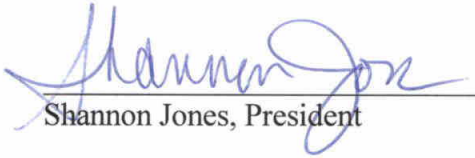
Carol Jacob, 5124 Greenview Lane Lebanon, stated her concern that adding additional traffic causes safety concerns.

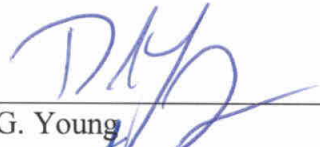
Mr. Maines then answered the questions posed by Ms. Pudvan.

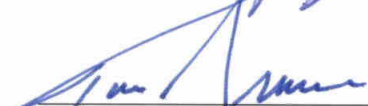
Upon further discussion, the Board resolved (Resolution #23-1033) to continue this administrative hearing to Thursday, August 24, 2023, at 5:00 p.m. in the Commissioners' Meeting Room, 406 Justice Drive, Lebanon, Ohio.

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Upon motion the meeting was adjourned.

  
Shannon Jones, President

  
David G. Young

  
Tom Grossmann

I hereby certify that the foregoing is a true and correct copy of the minutes of the meeting of the Board of County Commissioners held on August 8, 2023, in compliance with Section 121.22 O.R.C.

  
Tina Osborne, Clerk  
Board of County Commissioners  
Warren County, Ohio



**CASE # 101-2023**

**Site Plan Review- Shaker Woods**

**APPLICANT/OWNER/AGENT**

The Drees Company, PAP Oil Company, LLC.

**TOWNSHIP**

Turtlecreek

**PROPERTY LOCATION**

ADDRESS

Broadmoor Lane Road

PIN

08-31-300-014

**PROPERTY SIZE**

30.47 +/- Acres, 50' of frontage

<b>CURRENT ZONING DISTRICT</b>	MXU-C
<b>FUTURE LAND USE MAP (FLUM) DESIGNATION</b>	Turtlecreek- Single Family Residential
<b>EXISTING LAND USE</b>	Agricultural
<b>SITE PLAN REQUESTED</b>	Development of 73 single-family units.
<b>ISSUE FOR CONSIDERATION</b>	<ol style="list-style-type: none"><li>1. Waiver for side yard setback.</li><li>2. Compliance with the Shaker Woods PUD Standards and the Warren County Rural Zoning Code.</li></ol>

# Review Process

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Site Plan

**Board of County  
Commissioners**

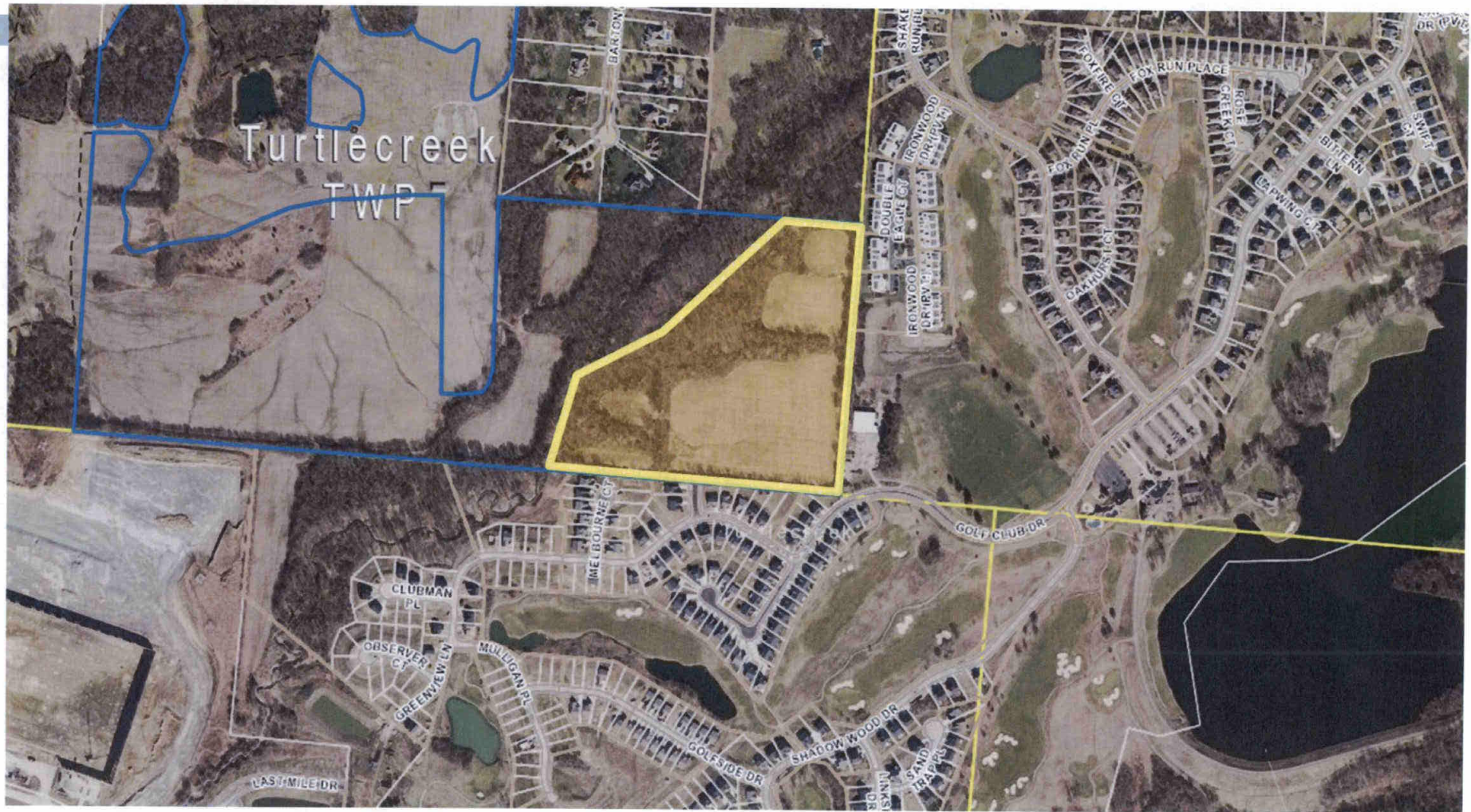
August 8, 2023

Preliminary Plan

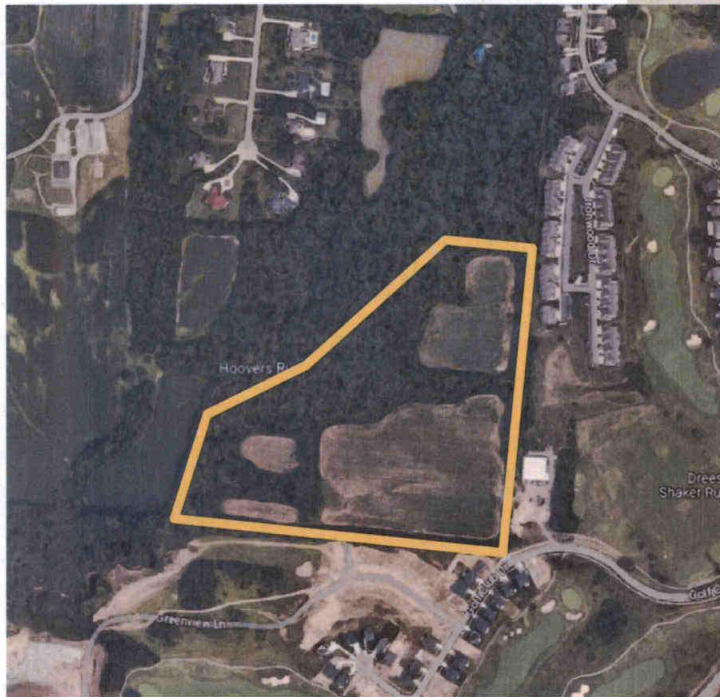
**Regional Planning  
Commission**

# Aerial Map

102-2021



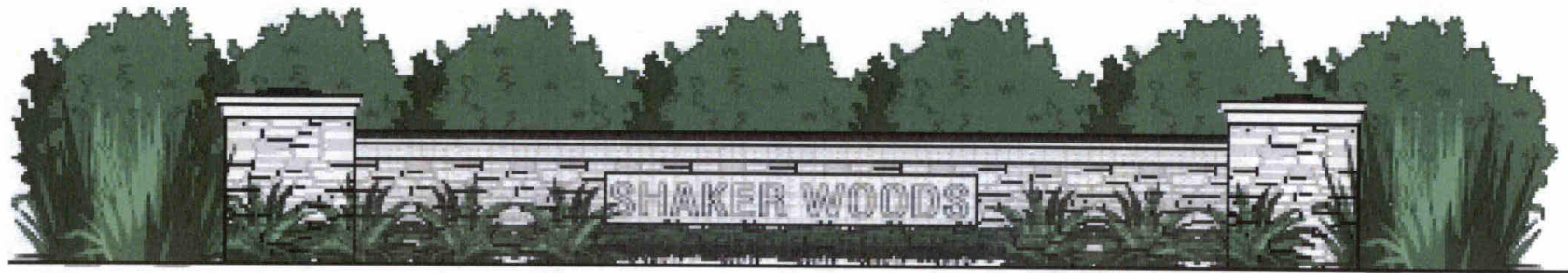
# Site





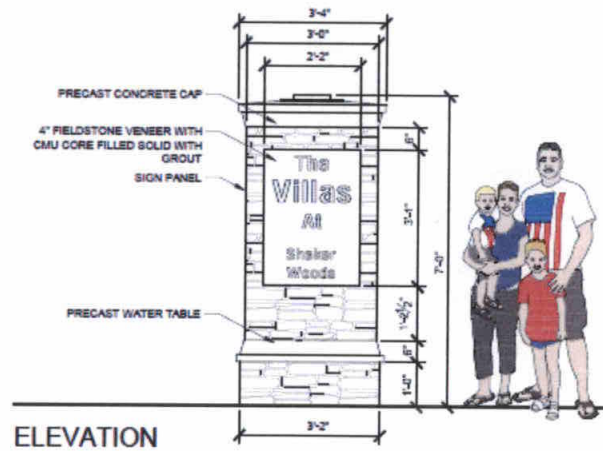


# Signage



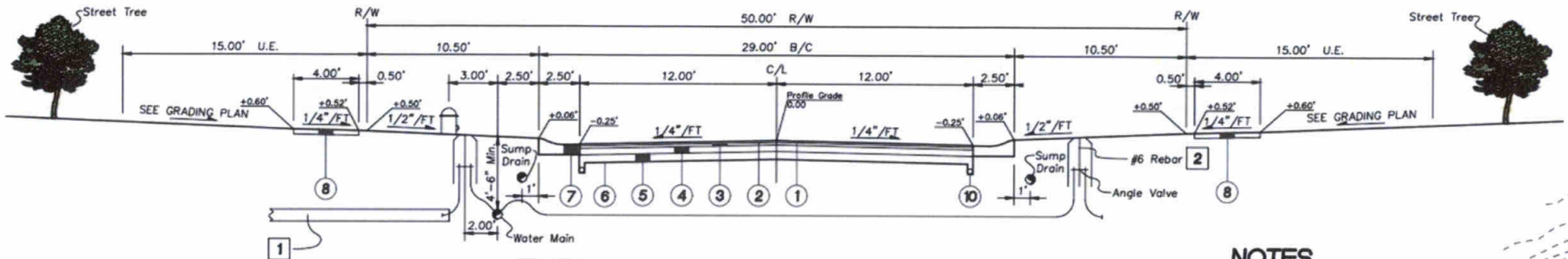
5 ELEVATION - ENTRY WALL  
10' x 7'0"

FIGURE 24





# Public Street Section



## TYPICAL PUBLIC STREET SECTION

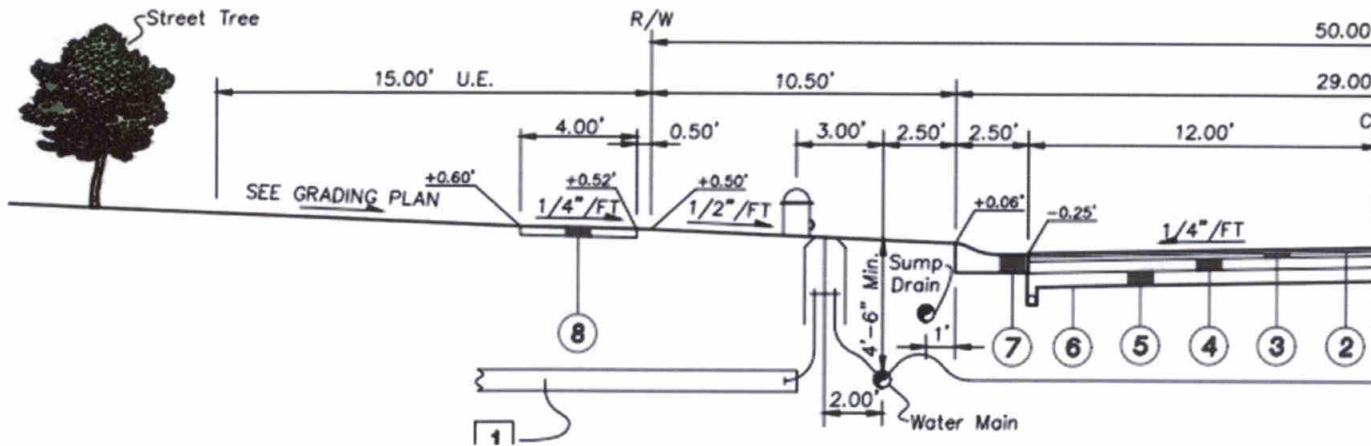
NOT TO SCALE

### NOTES

- 1 Plastic tubing shall be 20'± long & extend (min of 12" into the lots) to clear telephone & electric easements (On electric side only)
- 2 #6 Rebar - Contractor shall install #6 Rebar 5' long vertically at angle valves

### LEGEND

- 1 Item 448-(1 1/2") Asphalt Concrete, Surface Course, Type 1
- 2 Tack Coat MS-2, RS-1, or RC-250
- 3 Item 448-(2") Asphalt Concrete, Intermediate Course, Type 1
- 4 Item 301-(5") Bituminous Aggregate Base
- 5 Item 304-(6") Aggregate Base
- 6 Item 203 Subgrade Compaction
- 7 Type "C" Curb & Gutter (Warren County Standard)
- 8 Concrete Walk - 4" thick concrete sidewalk, width as shown, Item 608, to be 1/2" higher than finished grade.
- 9 Item 301-(4") Bituminous Aggregate Base
- 10 Item 605-4" Underdrain invert 22" below edge of pavement

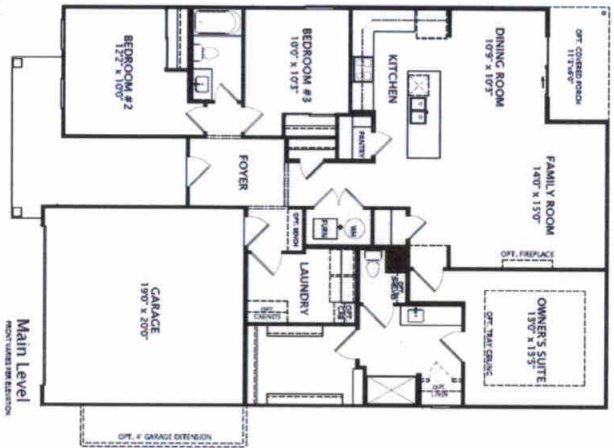


# Patio Home – 50' Wide Lots

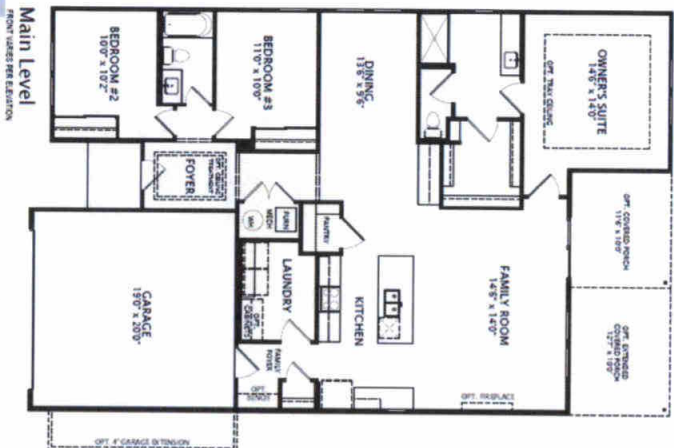
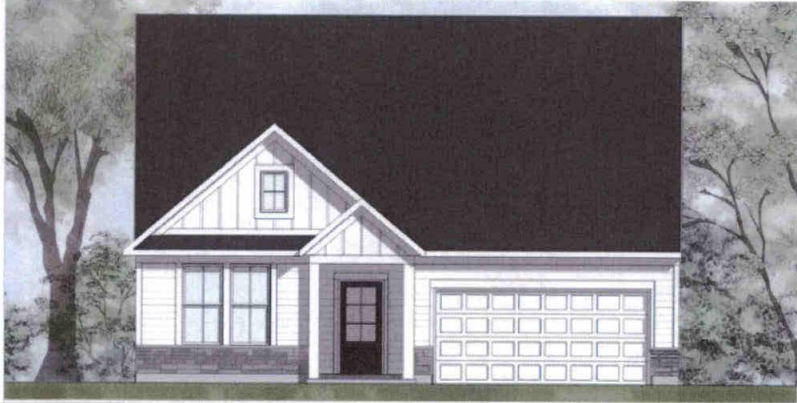
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- **Home:** Approximately 1,530 SF – 1,860 SF
- Upgraded materials on front and High Impact façade (Stone, Brick, or Hardboard siding)
- Typically marketed toward Empty Nest buyer or those looking to downsize.
- Low-maintenance living – lawn mowing and snow pushing included through the HOA.
- **Patio homes have standard features that make them more adaptable to those with mobility issues.**
  - Slab construction with single story home plans (easier to make zero threshold)
  - Primary door widths are wider.
  - Options to add features to enhance adaptability (i.e., Grab Bars, Lever handles, etc.)

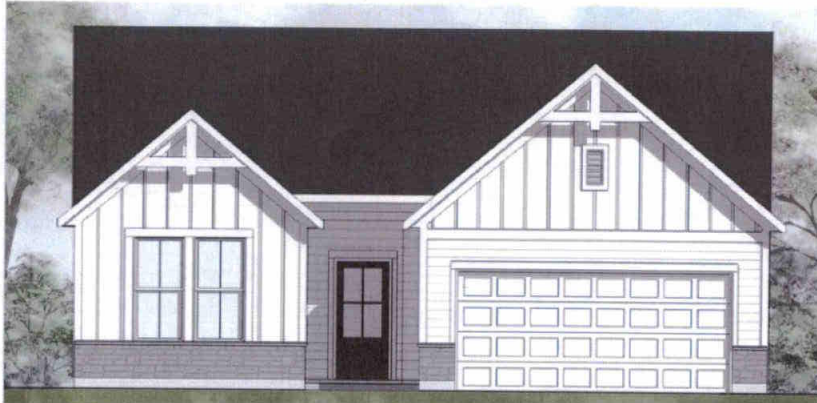
# Patio Home



*DUNNICK*  
New from the Architect



*DUNNICK*  
New from the Architect

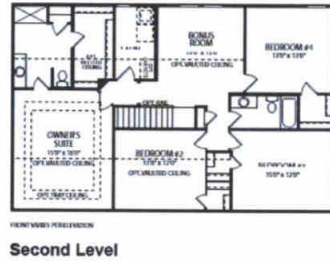


# Single Family – 65' Wide Lots

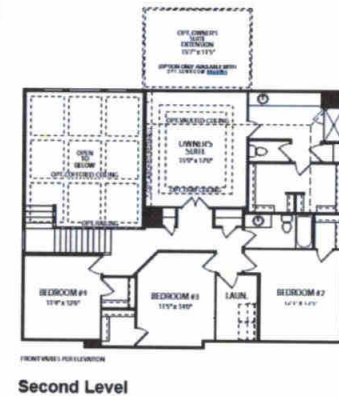
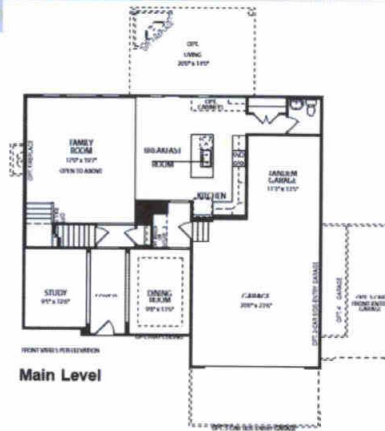
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- **Home:** Approximately 1,870 SF – 3,100 SF
- Upgraded materials on front and High Impact façade (Stone, Brick, or Hardboard siding)
- Typically marketed to families / move up buyer looking for large homes.
- Self-maintained lots
- Full Basements with option to finish.
- Mixture of Single Story and Two-Story floor plans

# Single Family Homes



*Quentin*



*Buchanan*



# Waiver Request

The applicant is requesting a side yard setback of 5 feet instead of the required 15 feet.

## 2.407.6 Integrated Development:

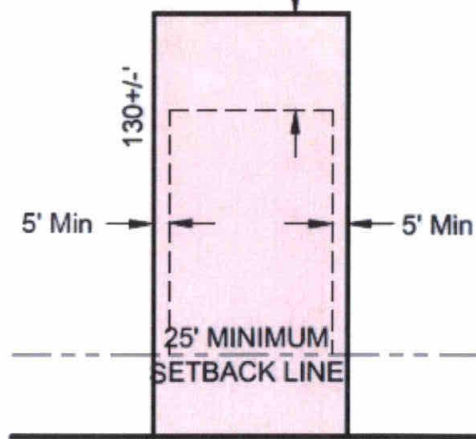
- (D) **Waiver of Development Standards:** The applicant may submit a proposal for waiver or reduction of the development standard for a proposed integrated project. **The approval authority [BOCC] may approve a waiver of the general development requirements**, for lighting, parking, signage, access, landscaping and buffer, height, lot size and development, or additional development requirements only upon finding that:
- (1) The proposed development represents an innovative use of site design, site access, circulation, building design, orientation, or building materials/landscaping which will enhance the area;
  - (2) The proposed development will not be injurious to the public health, safety, or general welfare of Warren County;
  - (3) The strict application of the general development requirements will result in a development which is undesirable when compared with the proposed development;
  - (4) The proposed development is consistent with and compatible with other development located in the area; and
  - (5) The proposed development is consistent with the suggestions of the Comprehensive Plan.

# Typical Lot Layout & Design

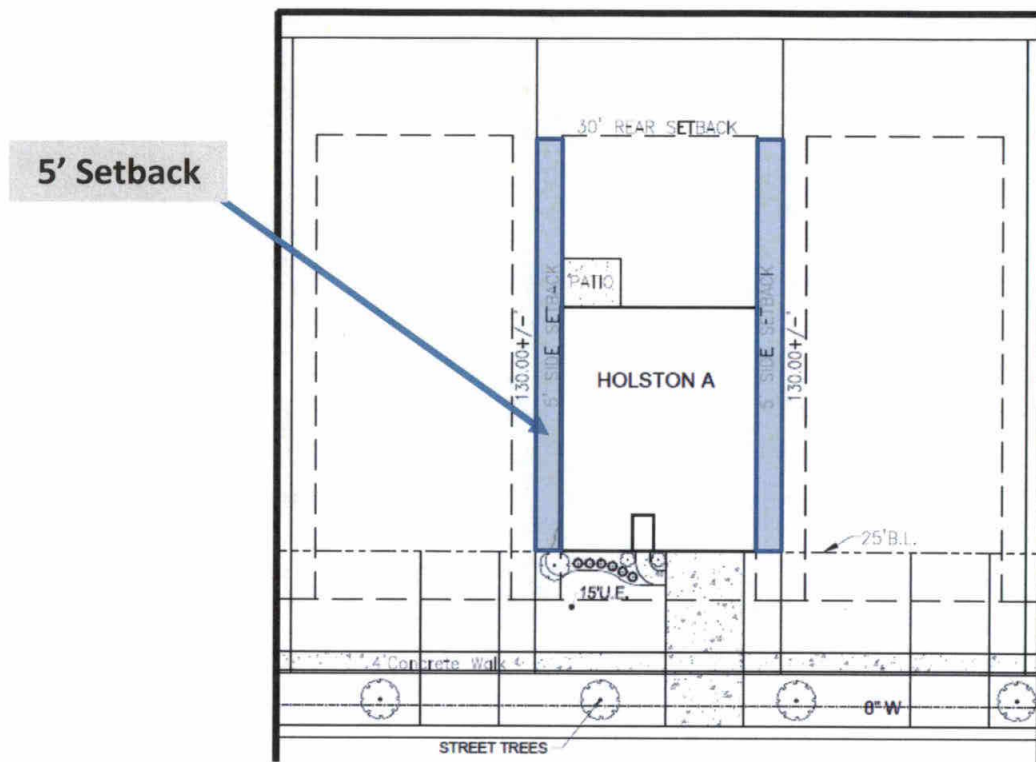
## PATIO HOME

6,500 S.F.(Min.)/0.149 Ac.(Min.)  
Lot Frontage = 50'(Min.)\*  
Lot Width @ Front Setback = 50'(Min.)  
Max Building Height = 35ft

30' MINIMUM  
REAR YARD SETBACK



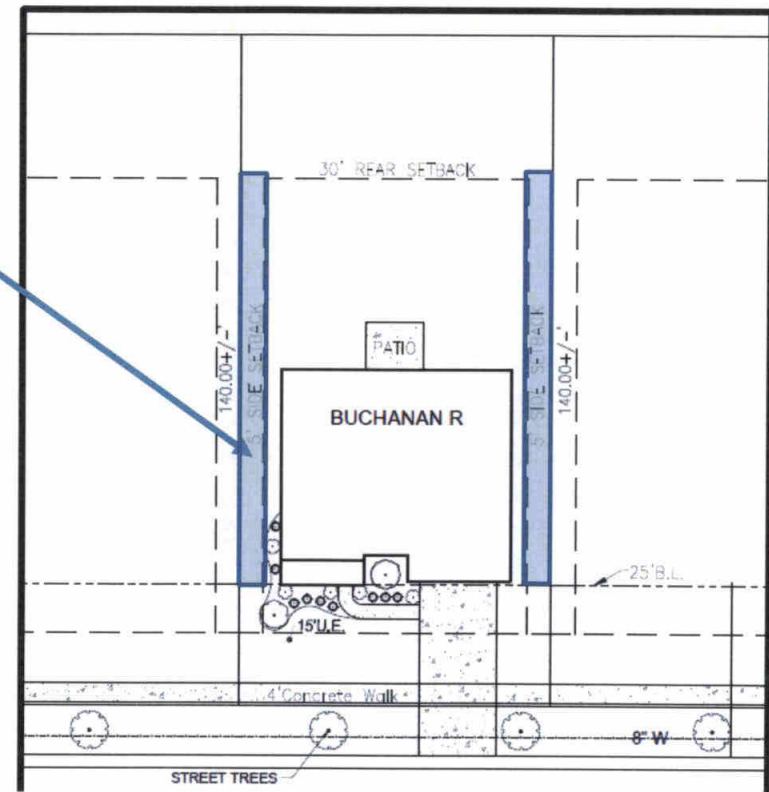
STREET



# Typical Lot Design & Layout



5' Setback





# Staff Summary

<b>Location</b>	Extending the stub street on Broadmoor in Shaker Run.
<b>Parking</b>	The required parking is 2 spaces per dwelling. All units will have driveway and garage parking.
<b>Landscaping</b>	Landscaping Plan complies with the requirements for street trees and around all signage.
<b>Signage</b>	The sign height, setback and square feet meets the requirements of the code.
<b>Lighting</b>	Residential lighting to be provided as in the rest of Shaker Run.
<b>Service Structures</b>	Each unit will have private trash service.

# Site Plan Review Criteria – Section 1.303.6

The site plan review is conducted to determine anticipated impacts on the public health and safety, as well as the public convenience, comfort, prosperity, or general welfare, as applicable. The factors to be considered and weighed by the Approving Authority include but are not limited to the following, but no single factor controls in making a decision, nor must all of the factors support the decision:

**(A) Adequacy of Information and Compliance with Zoning Code**

**(I) Exterior Lighting**

**(B) Design Layout Sufficiency and Sensitivity**

**(J) Signage**

**(C) Design Character, Operational Compatibility, and Coordination**

**(K) Public Service Impact**

**(D) Preservation of Significant Features**

**(L) Stormwater Drainage Stormwater Management Plan**

**(E) Pedestrian Access and Circulation**

**(M) Soil Erosion and Sediment Control**

**(F) Vehicular Access and Circulation Streets**

**(N) Emergency Access and Service Facilities and Public Safety**

**(G) Parking and Loading**

**(O) Building Design**

**(H) Landscaping and Screening**

**(P) Compliance with Public Health and Safety**

# Reviewing Departments

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- Warren County Engineer
- Warren County Water and Sewer Department
- Warren County Soil and Water Conservation
- Warren County Regional Planning Commission
- Turtlecreek Township Trustees
- Turtlecreek Township Fire Department
- Warren County Combined Health District
- Warren County Building Department
- Warren County Sheriff

# Department Comments –

## Turtlecreek Township

- Not in support of development due to safety concerns.
- Increased traffic volume without additional access point.
- Adding 73 SF homes to the existing high density.
- Increased traffic volume in a challenged infrastructure system.
- Township support requires an access point from Greentree Road.



MR. JAMES VANDEGRIFT  
MR. DANIEL JONES  
MR. JONATHAN SAMS  
MS. AMANDA CHILDERS

TRUSTEE  
TRUSTEE  
TRUSTEE  
FISCAL OFFICER

July 31, 2023

Warren County Zoning Department  
Attn: Michelle Tegtmeier  
406 Justice Drive  
Lebanon, Ohio 45036

Re: Shaker Woods Site Plan

Dear Ms. Tegtmeier,

The Board of Trustees of Turtlecreek Township have reviewed the site plan for the Drees Company's proposed Shaker Woods single family residential development.

The Board of Trustees of Turtlecreek Township are not in support of this development due to safety service concerns and increased traffic volume without an additional access point. This development would be adding an additional 73 single family homes into the existing high-density development of Shaker Run. The addition of these homes without an access point off of Greentree Road creates a safety issue and an increased volume of traffic in an existing infrastructure system that is challenged.

The Board of Trustees of Turtlecreek Township have discussed with Drees Company that the township would require an access point off of Greentree Road to support this development.

# Lebanon City Schools

- Input & support for Drees Home proposed development at Shaker Run
- **Development over a 4–5-year period.** Helpful gradually increase the number of students over time.
- Appreciate plans to vary the homes between **single-family & patio**, which we hope will draw fewer school-aged children.
- Ensure that we have enough **space to** accommodate the need to **turn around a school bus** in the neighborhood without backing up.
- Consider a different layout that would eliminate the cul-de-sac & would extend the road to **make it a loop where turnarounds would not be necessary.**



Office of the Superintendent  
160 Miller Road  
Lebanon, Ohio 45036  
513.934.5778

January 20, 2023

Warren County Regional Planning Commission and Turtlecreek Township Trustees:

This letter is to offer my input and support for Drees Home proposed development at Shaker Run off of Broadmoor Lane. I was approached recently by Mark Linger to discuss their proposed concept for patio homes and single family homes. Mark communicated their plan was to develop 25 single family homes and 45 patio homes in this development over a 4-5 year period. At the time of our meeting he indicated that their construction plan would include patio and single family homes in each phase, which was helpful for us to be able to gradually increase the number of students over time.

During this meeting I shared several concerns with Mr. Linger from the school perspective. Whenever new developments are planned we want to ensure that the developments fit within the current PUD and do not seek to increase the housing density already in place. It appears that their plan fits within the current mixed-use zoning and we appreciate their plan to vary the homes between single-family and patio, which we hope will draw fewer school-aged children. We also want to ensure that we have enough space to accommodate the need to turn around a school bus in the neighborhood without backing up. This is safer for pedestrians and for the bus operator because visibility is limited in these tight neighborhoods. Mr. Linger indicated that they would consider a different layout that would eliminate the cul-de-sac and would extend the road to make it a loop where turnarounds would not be necessary. I appreciated his willingness to work with us on this concern.

I am thankful for the opportunity to provide feedback before a project commences and I appreciate Mr. Linger's willingness to listen to our concerns. As a district we are not opposed to the growth taking place in our community, but we must be involved in the planning process. At this time, I have no further questions or concerns with the initial concept plan and would support them moving forward in the process with your review teams.

Sincerely,

Isaac W. SeEVERS  
Superintendent

# Butler County Water & Sewer

- Sewer service is available from Butler County.
- Sewer service is available from 8" gravity sewer main from two different locations.

## CUSTOMER CARE

130 High Street  
Hamilton, Ohio 45011  
P: 513.687.3066  
F: 513.785.5799  
water.bcoho.us

COMMISSIONER  
Donald L. Dixon

COMMISSIONER  
Cindy Carpenter

COMMISSIONER  
T.C. Rogers



September 08, 2022

Mark Linger  
Drees Homes  
211 Grandview Drive, Suite 100  
Ft. Mitchell, KY 41017

Re: Sewer Availability for 5321 Greentree Rd; Parcel 83-12-000-130

Dear Mr. Linger:

Butler County Water & Sewer Department has sewer available for the proposed development of 71 Equivalent Residential Units on 30.47 Acres to be located at 5321 Greentree Rd.


Sewer service is available from an existing 8-inch gravity sewer main located on Melbourne Court. Sewer service is also available from an 8-inch gravity sewer main located on Broadmoor Lane. These two sewer mains are designed to have sufficient capacity to serve this development.

The extension of the sewer system for this proposed development will require the approval of separate legislation by the Butler County Board of Commissioners.

If you have any questions, please call this office at 513-785-5288.

Sincerely,

BUTLER COUNTY WATER & SEWER DEPARTMENT

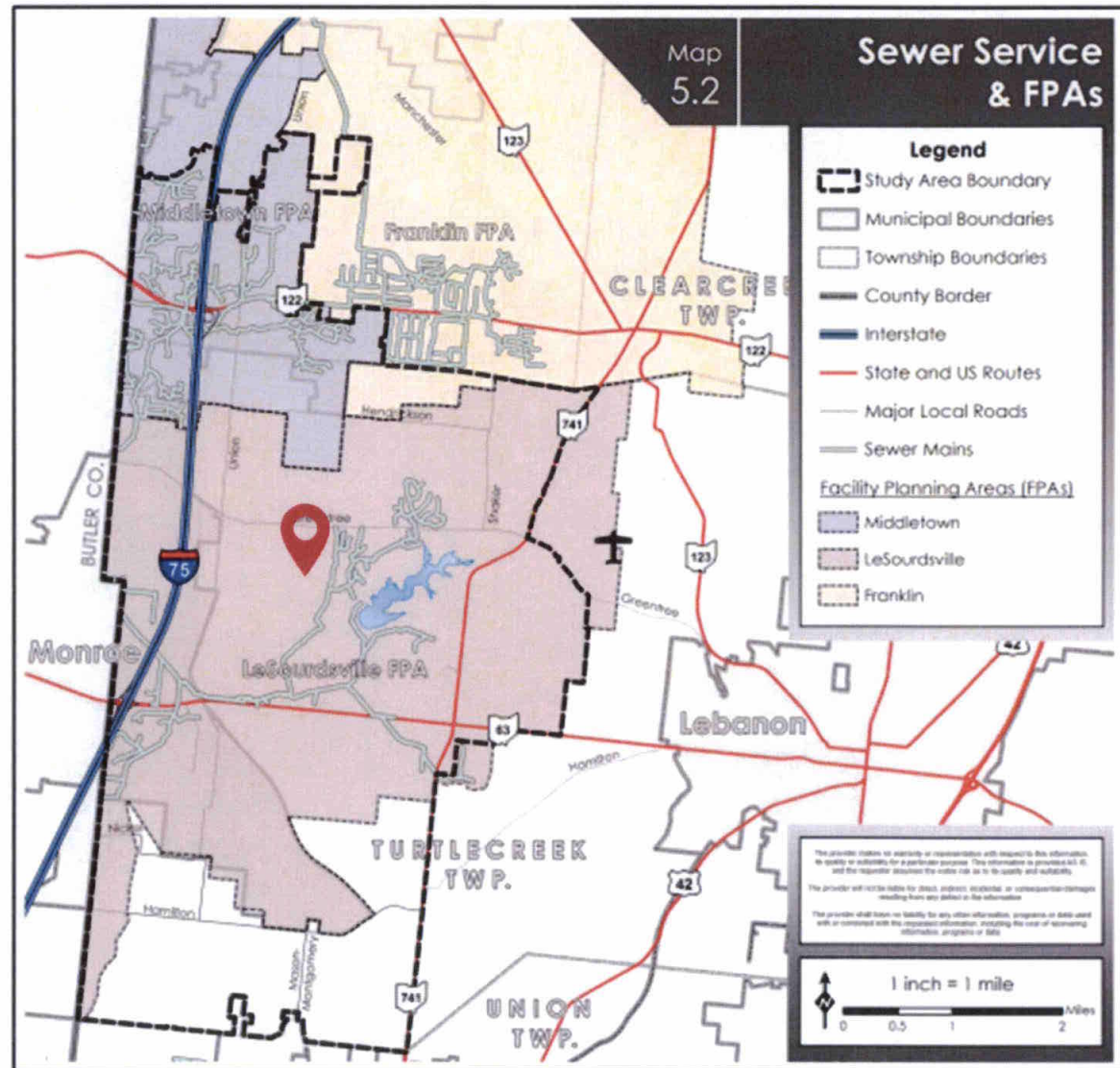
  
Steven R. Thompson  
Senior Engineer

Cc: Martha Shelby, P.E., Director  
Jeff Frechtling, P.E., Engineering and Construction Manager  
File

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# Sewer Service & FPA

- Butler County Sewer Service.
- LeSourdsville FPA.



# Department Comments (RPC)

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1. Compliance with the standards of the Warren County Rural Zoning Code; Section 1.303.3.
2. At the preliminary plan submittal, the applicant shall submit an updated plan shows:
  - a. A cross-section for the private driveway.
  - b. An access easement to the retention basin.
3. The installation and provision of water utilities shall be to the satisfaction of the Warren County Water Department.
4. The installation and provision of the sanitary sewer system shall be to the satisfaction of the Butler County Sewer Department.



## Department Comments (RPC)

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5. The trail and all open space amenities shall be constructed and completed at the time each phase is platted and shall be fully developed before the platting of 75% of the residential lots (55 lots).
6. The applicant shall receive approval of an Access Point Waiver Request at subdivision review and comply with the following:
  - A. A maximum of twenty-five (25) residential lots may be plated prior to the connection of Shaker Run Subdivision to Core 5 Industrial Park via Last Mile Drive.
7. The applicant shall receive approval of a variance from the required side yard setback.

ANY  
QUESTIONS?

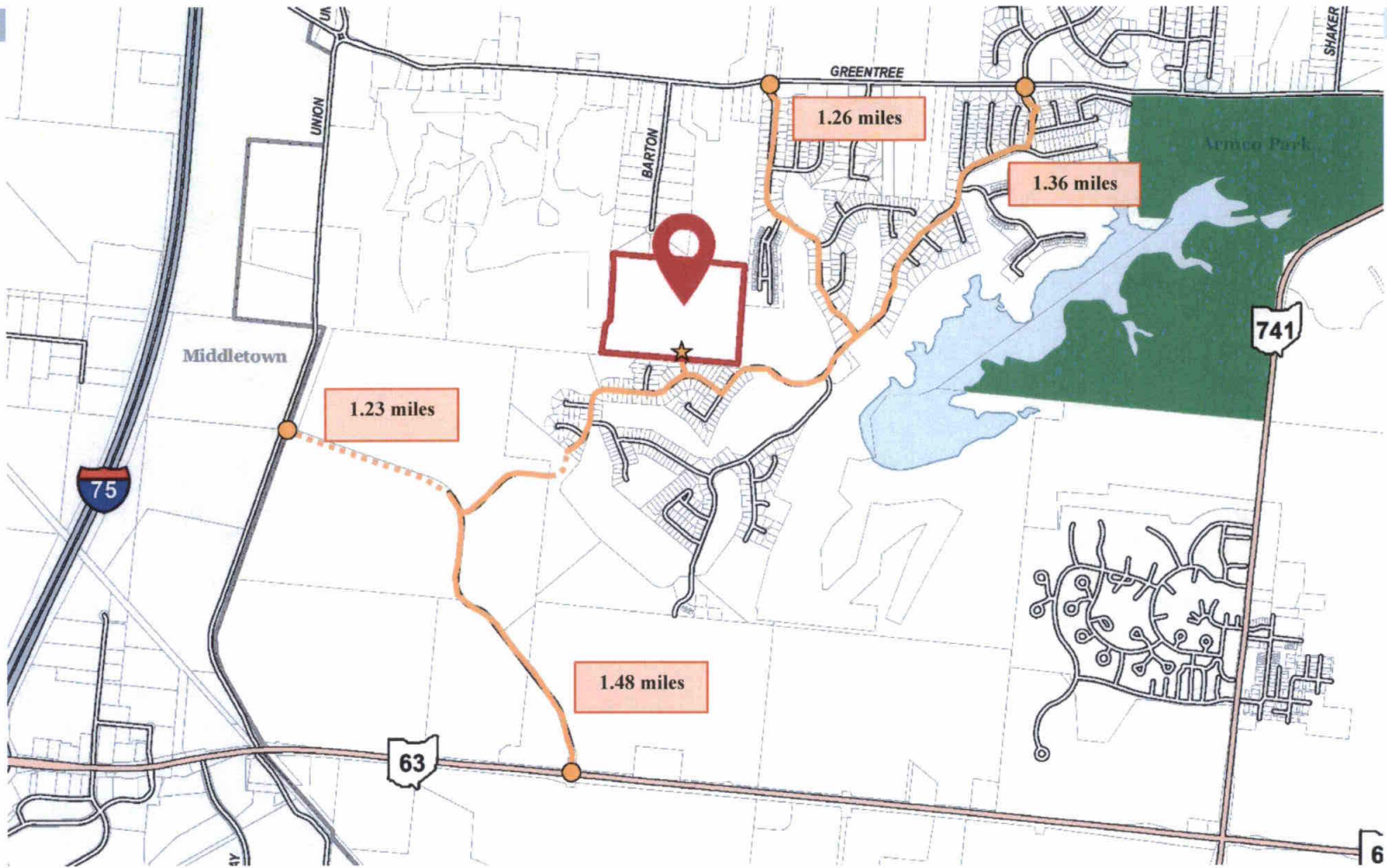


**BACKUP SLIDES**

# Density Analysis Along Greentree Road



# Access To & From Major Roads



**COMMENT ON THE PROPOSED SHAKER WOODS DEVELOPMENT**

Commissioner's Meeting Room August 8, 2023 9:00 a.m.

It could be argued that the highest and best use of land in this time of increased climate events and global warming is to cover the land in trees, which take carbon dioxide out of the air and cool the planet. Adding more buildings and roads, especially where so many already exist, adds to heat buildup, increased pollution, and more weather-related events.

That said, if it is the desire of the Warren County Commissioners and the Turtle Creek Township Trustees to continue building, why not use the land for solar panels that will help alleviate stress on the electric grid, create jobs, and even generate income? A 600' setback from existing homes and plenty of trees to shield the panels from view would be required.

But, wait! According to a map I received from the Planning Commission, there are three natural streams that run through the proposed Shaker Woods subdivision. Isn't it illegal to block or re-route a stream? Isn't it also a flood hazard? So we're back to planting trees, everywhere but in the streams.

If the Shaker Woods Development is inevitable, then we (meaning residents on Double Eagle Court and Ironwood Drive) request a few adjustments. I was told that the protected area for trees on the side of the development that smacks up against Double Eagle Court and the Shaker Run Golf Course (east side) was a mere 10', but a map I more recently acquired appears to show a protected area of 30'. Which is correct? If it is only 10', we request an increase to 30'. This could easily be accomplished by moving the entire development to the west. According to the diagram, there is room to do that by removing part of the "pocket park" on the southwest corner of the property.

Also, we want that protected area not to be part of the 30' rear setback of the properties on the east side of the development.

If we understand the “protected area” correctly, no tree is allowed to be cut down in that area unless it is dead or dying. In addition to a 30’ protected area, there should also be a requirement that any tree cut down must include removal of the stump and must be immediately replaced in the same spot by a tree that is expected to grow, given time, to the same height and width as the one cut down – which means it must be tended to with water and some tender, loving care. Is this in your plan? Otherwise, eventually, there may be no trees left.

We also request a noise ordinance – such as no parties or outdoor music after 11:00 p.m. or before 8:00 a.m. Actually, we would like to ask for more noise restrictions since we have condo owners who are suffering from PTSD and become highly agitated by noise, and we also have condo owners who work shift work, and they are accustomed to the quiet of our condominium community.

To enforce the tree protections, the planting of replacement trees, and the care of replacement trees, as well as to enforce noise restrictions, there must be a Homeowners Association. Is a Homeowners Association in the plan? If not, we request that you add it. Otherwise, there are no enforcements and anything goes.

Removal of the “pocket park” that leads directly to the detention pond of Shaker Run’s Ironwood Condominium Community, which includes Double Eagle Court, is requested. This “pocket park” (AKA open space) has no purpose other than to entice children and adults to use it as a pathway to both the Ironwood Condominium Community and the Shaker Run Golf Course maintenance building, both of which pose a potential hazard to anyone encroaching and both of which are private property. In addition to eliminating the “pocket park,” perhaps a high fence should be added to this whole east side of the property - a 10’ high opaque privacy fence to dissuade intruders and to reduce noise.

According to the copy of the Site Plan I was given, the maximum height of the patio homes is listed at 35’. That seems very high for a patio home, and intrusive to the view of the condominium dwellers, particularly in the winter months.

To summarize, we would like a 30' protected area for trees along the entire east side of the proposed Shaker Woods development and a guaranteed replacement of any trees that are removed from this protected area, as well as nurturing oversight of new trees planted; a noise ordinance; and a Homeowners Association Board to enforce these requirements. We also ask for the elimination of the "pocket park" that accesses the Ironwood Condominium Community. A high fence and shorter patio homes would also be welcome.